

SHEET INDEX

- A1 SHEET INDEX, BUILDING CODE ANALYSIS, VICINITY MAP, DOOR AND FRAME SCHEDULE, NEW SOLID BLOCKING FOOTING PAD DETAIL
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- A3 NEW FOOTING FOUNDATION PLAN, NEW FIRST FLOOR PLAN
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- A5 GENERAL NOTES AND SPECIFICATIONS

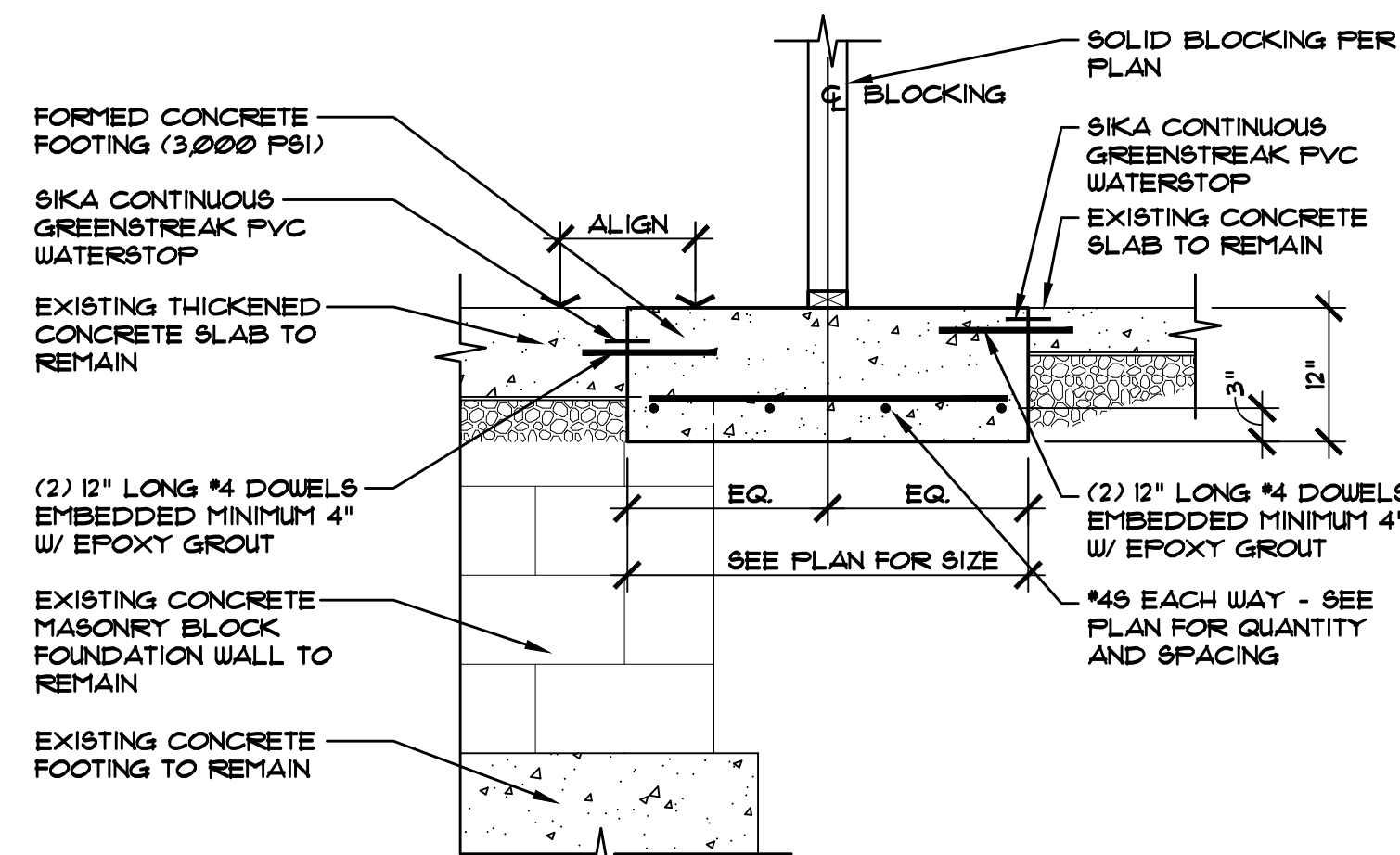
BUILDING CODE ANALYSIS

- GOVERNING BUILDING CODES: 2017 OHIO BUILDING CODE (OBC) BASED ON: THE 2015 INTERNATIONAL BUILDING CODE (IBC)
- GROUP CLASSIFICATION: GROUP "B" - BUSINESS
- OCCUPANCY CLASSIFICATION: PROFESSIONAL SERVICES (MENTAL HEALTH)
- TYPE OF CONSTRUCTION: II-B
- AUTOMATIC SPRINKLER SYSTEM: LIMITED AREA - EXISTING MECHANICAL ROOMS ONLY
- ALLOWABLE BUILDING STORY/HEIGHT LIMITATION PER TABLE 506.3 AND TABLE 504.4 FOR GROUP "B" - BUSINESS: 2 STORIES/10'
- ACTUAL BUILDING STORIES/HEIGHT: 1 STORY/10'
- TOTAL ALLOWABLE SQUARE FOOTAGE PER FLOOR PER TABLE 506.2 FOR GROUP "B" - BUSINESS: 9,000 SF.
- TOTAL ACTUAL BUILDING SQUARE FOOTAGE: 3,338 SF.
- EXISTING FIRST FLOOR AREAS TO BE RENOVATED: 1,618 SF.
- FIRE RESISTANCE RATINGS FOR BUILDING ELEMENTS PER TABLE 601 AND TABLE 602 PRIMARY:
 - 1) STRUCTURAL FRAME: 0 HOURS
 - 2) BEARING WALLS (EXTERIOR):
 - 0 TO 5 FEET: 1 HOUR
 - 5 TO 10 FEET: 1 HOUR
 - 10 TO 30 FEET: 0 HOURS
 - GREATER THAN 30 FEET: 0 HOURS
 - 3) BEARING WALLS (INTERIOR): 0 HOURS
 - 4) EXTERIOR (NONBEARING WALLS AND PARTITIONS):
 - 0 TO 5 FEET: 1 HOUR
 - 5 TO 10 FEET: 1 HOUR
 - 10 TO 30 FEET: 0 HOURS
 - GREATER THAN 30 FEET: 0 HOURS
 - 5) INTERIOR (NONBEARING WALLS AND PARTITIONS): 0 HOURS
 - 6) FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS: 0 HOURS
 - 7) ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS: 0 HOURS

	WALLS	CEILING	FLOORS
INTERIOR EXIT STAIRWAYS/PASSAGEWAYS	A	A	CLASS 2
CORRIDORS	B	B	CLASS 2
ROOMS AND ENCLOSED SPACES	C	C	CLASS 2

GENERAL CONTRACTOR IS TO PROVIDE GOVERNING BUILDING DEPARTMENT FLAME RESISTANCE CERTIFICATION FOR ALL INTERIOR FINISHES

- ALLOWABLE OCCUPANT LOAD PER TABLE 1004.1.2:
 - GROUP "B" - BUSINESS: 100 GROSS SF/PERSON
3,338 SF. / 100 SF/P. = 33.38 P = 34 PEOPLE
- COMMON PATH OF EGRESS TRAVEL PER TABLE 1006.2.1 FOR GROUP "B" - BUSINESS: 75 FEET
- REQUIRED NUMBER OF EXITS PER TABLE 1006.3.1: 2
- ACTUAL NUMBER OF EXITS: 4
- EXIT ACCESS TRAVEL DISTANCE PER TABLE 1012.1 FOR GROUP "B" - BUSINESS: 200 FEET
- CORRIDOR FIRE RESISTANCE RATING PER SECTION 1006.2 AND SECTION 1020.1 AND TABLE 1020.1 FOR GROUP "B" - BUSINESS: 0 HOURS
- OCCUPANCY CATEGORY PER TABLE 1604.1: II
- THIS PROJECT SHALL COMPLY WITH ICC A117.1 THIS SHALL INCLUDE BUT NOT BE LIMITED TO DOOR SIZES, THRESHOLDS, DOOR PULLS AND HARDWARE, GRAB BARS, RESTROOM FIXTURES, TOILET PARTITIONS, ETC. COMPONENTS OF ICC A117.1 NOTED ON THESE DRAWINGS SHALL BE APPLIED TO THIS PROJECT BUT IN NO WAY LIMIT THE APPLICABILITY OF THOSE ICC A117.1 SECTIONS NOT LISTED/NOTED.



NEW SOLID BLOCKING FOOTING PAD DETAIL
SCALE: 3/4" = 1'-0"

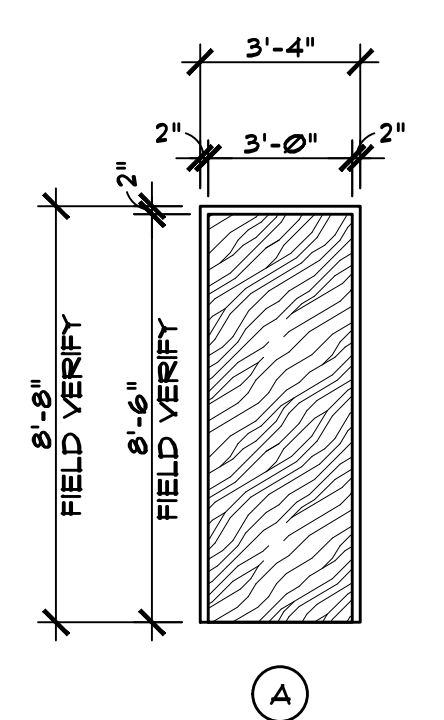
DOOR ELEVATIONS GENERAL NOTES

- A. MAINTAIN ALL EGRESS DOORS READILY OPERABLE FROM THE SIDE IN WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- B. PROVIDE ACTUAL DOOR AND HARDWARE SCHEDULE TO ARCHITECT, GENERAL CONTRACTOR AND OWNER FOR REVIEW AND APPROVAL PRIOR TO ORDERING ANY DOORS OR HARDWARE. NO EXCEPTIONS.
- C. PROVIDE MANUFACTURER'S SPECIFICATIONS ON ALL DOORS AND HARDWARE TO THE BUILDING DEPARTMENT FOR APPROVAL.
- D. ALL LOCKING ARRANGEMENTS ARE REQUIRED TO MEET THE REQUIREMENTS OF THE 2017 OHIO BUILDING CODE.
- E. ALL WOOD DOORS TO MATCH EACH OTHER.
- F. ALL THRESHOLDS NOT TO EXCEED 1/2" HEIGHT.
- G. HANDICAP ACCESSIBLE CLEAR FLOOR AREAS AT EXTERIOR DOORS SHALL NOT EXCEED 1/4" MAXIMUM CROSS SLOPE.
- H. ALL DOOR GLASS TO HAVE SAFETY GLASS.
- J. DOUBLE GLAZED TEMPERED LOW "E" GLASS (EXTERIOR ONLY) ON OVERHEAD DOORS.
- K. SEE NEW INTERIOR FINISH LEGEND SHEET A1B FOR MORE INFORMATION.

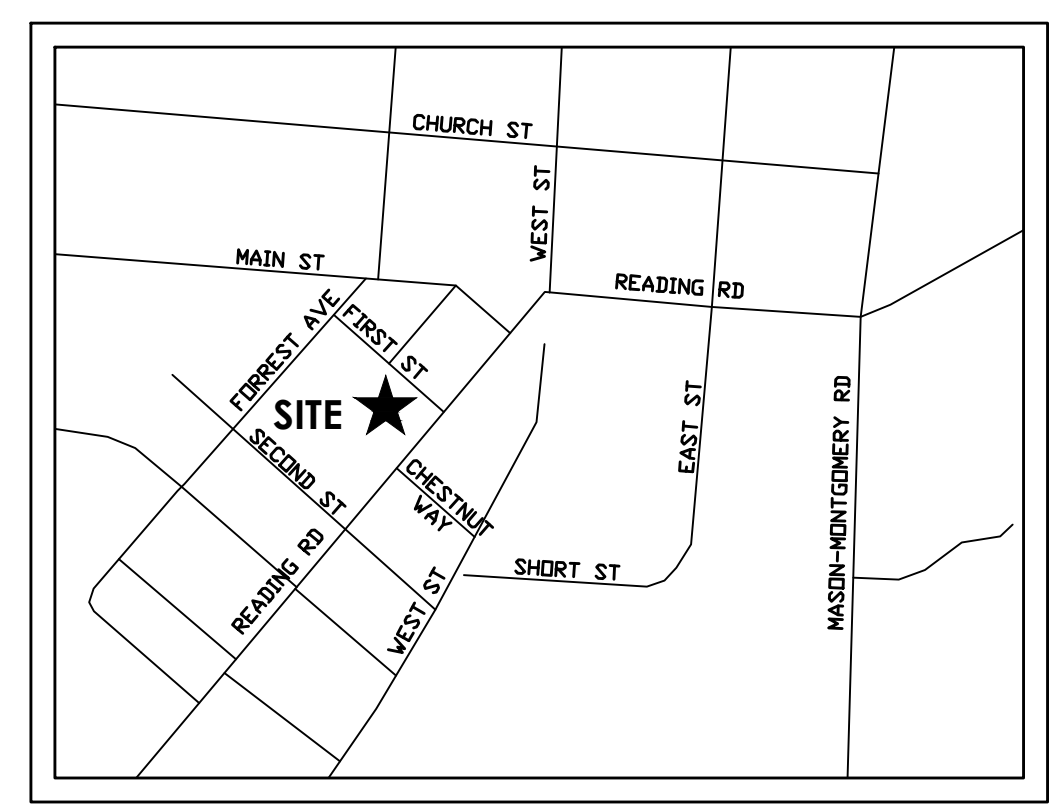
HARDWARE GENERAL NOTES

- A. THRESHOLDS AT DOORS SHALL BE NO MORE THAN 1/2" MAXIMUM ABOVE FINISHED FLOOR.
- B. ALL DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE CENTERED 30" MINIMUM TO 48" MAXIMUM ABOVE FINISHED FLOOR AND SHALL BE "SINGLE HANDED" OPERABLE W/O USE OF KEY OR SPECIAL EFFORT.
- C. CONTROLS AND OPERATING MECHANISMS SHALL BE LEVER-TYPE (OR EQUAL) PROVIDING OPERATION W/ (1) HAND AND NOT REQUIRE TIGHT GRASPING, FINCHING, OR TWISTING OF THE WRIST.
- D. THE FORCE REQUIRED TO ACTIVATE CONTROLS OF INTERIOR HINGED DOORS SHALL BE NO GREATER THAN 5 POUNDS (222 N).
- E. DOORS EQUIPPED W/ CLOSERS SHALL BE ADJUSTED SO THAT THE SLEEP PERIOD FROM AN OPEN POSITION OF (90) DEGREES WILL TAKE AT LEAST (5) SECONDS TO MOVE TO A POINT (12) DEGREES FROM THE LATCH, MEASURED FROM THE LEADING EDGE OF THE DOOR.
- F. HINGES FOR OUT-SWINGING EXTERIOR DOORS SHALL BE EQUIPPED W/ NON-REMOVABLE HINGE PINS.
- G. ALL DOORS EQUIPPED W/ DEADBOLT DEVICES SHALL HAVE A MINIMUM THROW OF 1".
- H. ALL EMERGENCY EXIT DOOR HARDWARE TO BE CONNECTED TO LOCAL ALARM FEATURE (W/ DISABLING KEY).
- I. DOORS USED FOR EGRESS ONLY ARE NOT TO HAVE OPERABLE EXTERIOR HARDWARE.
- J. WHERE PANIC AND FIRE EXIT HARDWARE IS INSTALLED IT SHALL COMPLY WITH THE FOLLOWING:
 - 1) THE ACTUATING PORTION OF THE RELEASING DEVICE SHALL EXTEND AT LEAST ONE-HALF OF THE DOOR LEAF WIDTH.
 - 2) THE MAXIMUM UNLATCHING FORCE SHALL NOT EXCEED 15 POUNDS (61 N).

DOOR AND FRAME ELEVATIONS



DOOR NO.	ROOM NAME	DOOR SIZE			MATERIAL	TYPE	FINISH	FRAME		HARDWARE								REMARKS	
		WIDTH	HEIGHT	THK.				TYPE	DOOR HANDLE	KEYED LOCKSET	PASSAGE SET	PRIVACY LOCKSET	HINGES	1/2" THRESHOLD	WEATHER-STRIPPING	CLOSER	DOOR STOP		
																			TYPE
1	NEW CONFERENCE ROOM	3'-0"	8'-6"	1-3/4"	EXISTING WOOD		EXISTING STAIN	EXISTING HOLLOW METAL	EXISTING LEVER TYPE HANDLE	YES	NO	NO	NO	EXISTING 2 PAIR BUTTS	NO	NO	NO	YES	RELOCATED EXISTING DOOR AND FRAME FROM EXISTING CONFERENCE ROOM
2	NEW STORAGE CLOSET #1	3'-0"	8'-6"	1-3/4"	WOOD	A	STAIN TO MATCH EXISTING	PAINTED 16-GAUGE WELDED HOLLOW METAL	LEVER TYPE HANDLE TO MATCH EXISTING	NO	YES	NO	NO	2 PAIR BUTTS	NO	NO	NO	NO	
3	NEW STORAGE CLOSET #2	3'-0"	8'-6"	1-3/4"	WOOD	A	STAIN TO MATCH EXISTING	HOLLOW METAL PAINTED 16-GAUGE WELDED	LEVER TYPE HANDLE TO MATCH EXISTING	NO	YES	NO	NO	2 PAIR BUTTS	NO	NO	NO	NO	
4	NEW OFFICE #1	3'-0"	8'-6"	1-3/4"	EXISTING WOOD		EXISTING STAIN	EXISTING HOLLOW METAL	EXISTING LEVER TYPE HANDLE	YES	NO	NO	NO	EXISTING 2 PAIR BUTTS	NO	NO	NO	YES	RELOCATED EXISTING DOOR AND FRAME FROM EXISTING FILE ROOM #2
5	NEW OFFICE #2	3'-0"	8'-6"	1-3/4"	EXISTING WOOD		EXISTING STAIN	EXISTING HOLLOW METAL	EXISTING LEVER TYPE HANDLE	YES	NO	NO	NO	EXISTING 2 PAIR BUTTS	NO	NO	NO	YES	RELOCATED EXISTING DOOR AND FRAME FROM EXISTING COUNSELOR'S OFFICE #2
6	NEW OFFICE #3	3'-0"	8'-6"	1-3/4"	EXISTING WOOD		EXISTING STAIN	EXISTING HOLLOW METAL	EXISTING LEVER TYPE HANDLE	YES	NO	NO	NO	EXISTING 2 PAIR BUTTS	NO	NO	NO	YES	RELOCATED EXISTING DOOR AND FRAME FROM EXISTING COUNSELOR'S OFFICE #1
7	RENOVATED WOMEN'S RESTROOM	3'-0"	8'-6"	1-3/4"	EXISTING WOOD		EXISTING STAIN	EXISTING HOLLOW METAL	EXISTING LEVER TYPE HANDLE	NO	YES	NO	NO	EXISTING 2 PAIR BUTTS	NO	NO	YES	YES	RELOCATED EXISTING DOOR AND FRAME FROM EXISTING WOMEN'S RESTROOM
8	NEW STORAGE CLOSET #3	3'-0"	8'-6"	1-3/4"	EXISTING WOOD		EXISTING STAIN	EXISTING HOLLOW METAL	EXISTING LEVER TYPE HANDLE	YES	NO	NO	NO	EXISTING 2 PAIR BUTTS	NO	NO	NO	YES	RELOCATED EXISTING DOOR AND FRAME FROM EXISTING FILE ROOM #1
9	RENOVATED MEN'S RESTROOM	3'-0"	8'-6"	1-3/4"	WOOD	A	STAIN TO MATCH EXISTING	HOLLOW METAL PAINTED 16-GAUGE WELDED	LEVER TYPE HANDLE TO MATCH EXISTING	NO	YES	NO	NO	2 PAIR BUTTS	NO	NO	YES	YES	
10	NEW STORAGE CLOSET #4	3'-0"	8'-6"	1-3/4"	WOOD	A	STAIN TO MATCH EXISTING	HOLLOW METAL PAINTED 16-GAUGE WELDED	LEVER TYPE HANDLE TO MATCH EXISTING	NO	YES	NO	NO	2 PAIR BUTTS	NO	NO	NO	NO	
11	NEW STORAGE CLOSET #5	3'-0"	8'-6"	1-3/4"	WOOD	A	STAIN TO MATCH EXISTING	HOLLOW METAL PAINTED 16-GAUGE WELDED	LEVER TYPE HANDLE TO MATCH EXISTING	NO	YES	NO	NO	2 PAIR BUTTS	NO	NO	NO	NO	
12	NEW OFFICE #4	3'-0"	8'-6"	1-3/4"	EXISTING WOOD		EXISTING STAIN	EXISTING HOLLOW METAL	EXISTING LEVER TYPE HANDLE	YES (NEW)	NO	NO	NO	EXISTING 2 PAIR BUTTS	NO	NO	NO	YES	RELOCATED EXISTING DOOR AND FRAME FROM EXISTING MEN'S RESTROOM
13	NEW OFFICE #5	3'-0"	8'-6"	1-3/4"	EXISTING WOOD		EXISTING STAIN	EXISTING HOLLOW METAL	EXISTING LEVER TYPE HANDLE	YES	NO	NO	NO	EXISTING 2 PAIR BUTTS	NO	NO	NO	YES	RELOCATED EXISTING DOOR AND FRAME FROM EXISTING RECEPTION OFFICE



VICINITY MAP
SCALE: NOT TO SCALE
NORTH

DATE: AUGUST 4, 2022

REVISIONS:

SCALE: AS NOTED

DRAWN BY: AMU
CHECKED BY: MJD

PROJECT INFORMATION / DOOR SCHEDULE / MISC. DETAILS

A1

Mark Joseph Dierkers #8808819
Expiration Date 12/31/2023

RENOVATIONS TO THE EXISTING OFFICES OF:

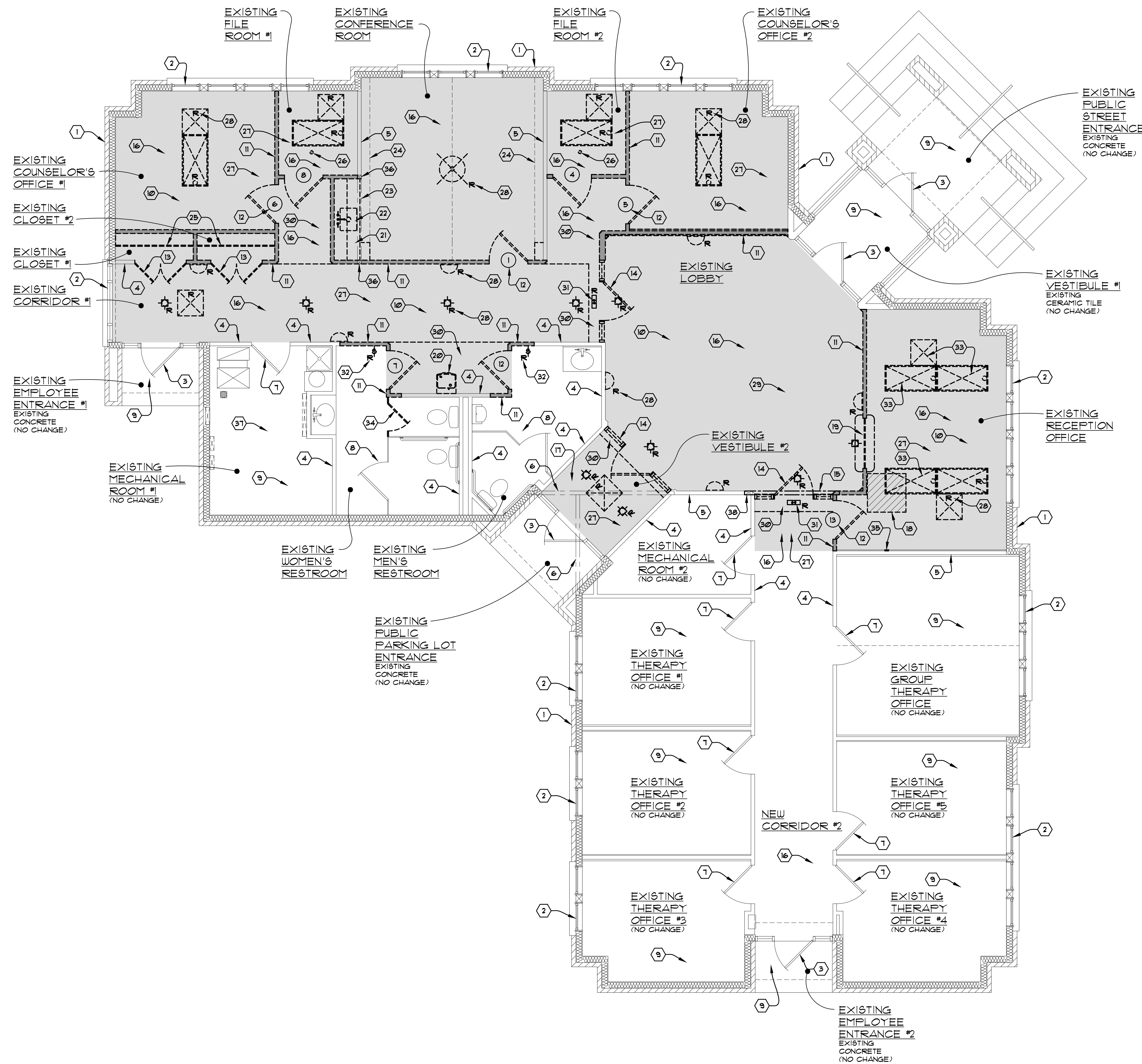
MENTAL HEALTH RECOVERY BOARD

201 READING ROAD
MASON, OHIO 45040
WARREN COUNTY

CONTACT: PETE MASON
1-513-518-1848 (CELL)
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SHEET INDEX

SEE SHEET A1 FOR SHEET INDEX INFORMATION



EXISTING FIRST FLOOR DEMOLITION PLAN GENERAL NOTES

- A. EXISTING ROOF FRAMING ABOVE (NOT SHOWN) TO REMAIN
- B. EXISTING CONCRETE SLAB TO REMAIN - REPAIR/REPLACE AS NECESSARY
- C. SEE SHEET A4 FOR ADDITIONAL CEILING INFORMATION

EXISTING FIRST FLOOR DEMOLITION PLAN NOTES

- 1 EXISTING BRICK VENEER/WOOD STUD WALL ASSEMBLY TO REMAIN (TYPICAL)
- 2 EXISTING WINDOW ASSEMBLY TO REMAIN (TYPICAL)
- 3 EXISTING DOOR/TRANSOM/SIDELIGHT/METAL FRAME ASSEMBLY TO REMAIN
- 4 EXISTING GYPSUM BOARD WOOD STUD WALL ASSEMBLY TO REMAIN (TYPICAL)
- 5 EXISTING GYPSUM BOARD WOOD STUD BEARING WALL ASSEMBLY TO REMAIN
- 6 EXISTING ASSUMED WOOD BEAM ABOVE TO REMAIN
- 7 EXISTING DOOR TO REMAIN (TYPICAL)
- 8 ALL EXISTING PLUMBING FIXTURES, TOILET PARTITIONS, GRAB BARS, VANITIES, ETC. TO REMAIN UNLESS NOTED OTHERWISE - EXISTING VINYL SHEET GOOD FLOORING AND RUBBER BASE TRIM TO BE REMOVED
- 9 NO WORK IN THIS AREA UNLESS NOTED OTHERWISE
- 10 SHADED AREA DENOTES AREA OF NEW WORK (TYPICAL)
- 11 SHADED AREA DENOTES EXISTING STUD WALL ASSEMBLY TO BE REMOVED (TYPICAL)
- 12 DENOTES EXISTING DOOR AND FRAME ASSEMBLY TO BE REMOVED AND RELOCATED (TYPICAL) - SEE SHEETS A1 AND A3 FOR MORE INFORMATION
- 13 EXISTING DOOR AND FRAME ASSEMBLY TO BE REMOVED
- 14 EXISTING DOOR/TRANSOM/SIDELIGHT/METAL FRAME ASSEMBLY TO BE REMOVED
- 15 EXISTING 5-PLY 2x12 WOOD BEAM ABOVE TO BE REMOVED - BRACE EXISTING ROOF TRUSSES UNTIL NEW BEAM IS INSTALLED
- 16 EXISTING CARPET AND BASE TO BE REMOVED
- 17 EXISTING CERAMIC TILE AND BASE TO BE REMOVED
- 18 HATCHED AREA DENOTES EXISTING CONCRETE SLAB TO BE REMOVED TO ALLOW FOR NEW FOOTING PAD INSTALLATION - SEE SHEET A3 FOR MORE INFORMATION
- 19 EXISTING SERVICE WINDOW ASSEMBLY AND COUNTER TO BE REMOVED IN ITS ENTIRETY
- 20 EXISTING DRINKING FOUNTAIN TO BE REMOVED
- 21 EXISTING BASE AND WALL CABINETS AND COUNTERTOP TO BE REMOVED
- 22 EXISTING SINGLE BOWL SINK TO BE REMOVED
- 23 EXISTING GYPSUM BOARD BULKHEAD AND DOUBLE 2x8 WOOD BEAM 1/2" THICK PLYWOOD FLITCH PLATE TO REMAIN
- 24 EXISTING WALL-MOUNTED LIGHT TROUGH ASSEMBLY TO REMAIN AND BE MODIFIED
- 25 EXISTING CLOTHES RODS AND SHELVES TO BE REMOVED
- 26 EXISTING LIMITED-AREA SPRINKLER HEAD AND SUPPLY LINES ABOVE TO BE REMOVED - FIELD VERIFY BRANCH LOCATION FROM EXISTING MECHANICAL ROOM AND CAP
- 27 EXISTING LAY-IN CEILING ABOVE TO BE REMOVED IN ITS ENTIRETY
- 28 EXISTING LIGHT FIXTURES AND HVAC REGISTER ASSEMBLY TO BE REMOVED AND RELOCATED (NOTED BY 'R' TYPICAL) - STORE PER OWNER'S INSTRUCTIONS - SEE SHEET A4 FOR MORE INFORMATION
- 29 EXISTING GYPSUM BOARD CEILING IN THIS AREA TO REMAIN AND BE MODIFIED - SEE SHEET A4 FOR MORE INFORMATION
- 30 EXISTING GYPSUM BOARD BULKHEAD/CEILING, LIGHT FIXTURES, REGISTERS, ETC. ABOVE TO BE REMOVED IN THEIR ENTIRETY
- 31 EXISTING EMERGENCY EXIT SIGN TO BE REMOVED AND RELOCATED - STORE PER OWNER'S INSTRUCTIONS - SEE SHEET A4 FOR MORE INFORMATION
- 32 EXISTING LIGHT SWITCH TO BE REMOVED AND RELOCATED - SEE SHEET A4 FOR MORE INFORMATION
- 33 EXISTING LIGHT FIXTURES AND REGISTERS TO BE REMOVED
- 34 EXISTING TOILET PARTITION AND DOOR ASSEMBLY TO BE REMOVED AND RELOCATED
- 35 EXISTING GYPSUM BOARD TO BE REMOVED TO ALLOW FOR NEW STUD WALL INSTALLATION
- 36 EXISTING SOLID BLOCKING TO REMAIN
- 37 EXISTING LIMITED-AREA SPRINKLER HEAD AND SUPPLY LINES ABOVE TO REMAIN
- 38 EXISTING SOLID BLOCKING TO REMAIN: (5) 2x4'S

EXISTING FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

DATE: AUGUST 4, 2022

REVISIONS:

SCALE: 1/4" = 1'-0"

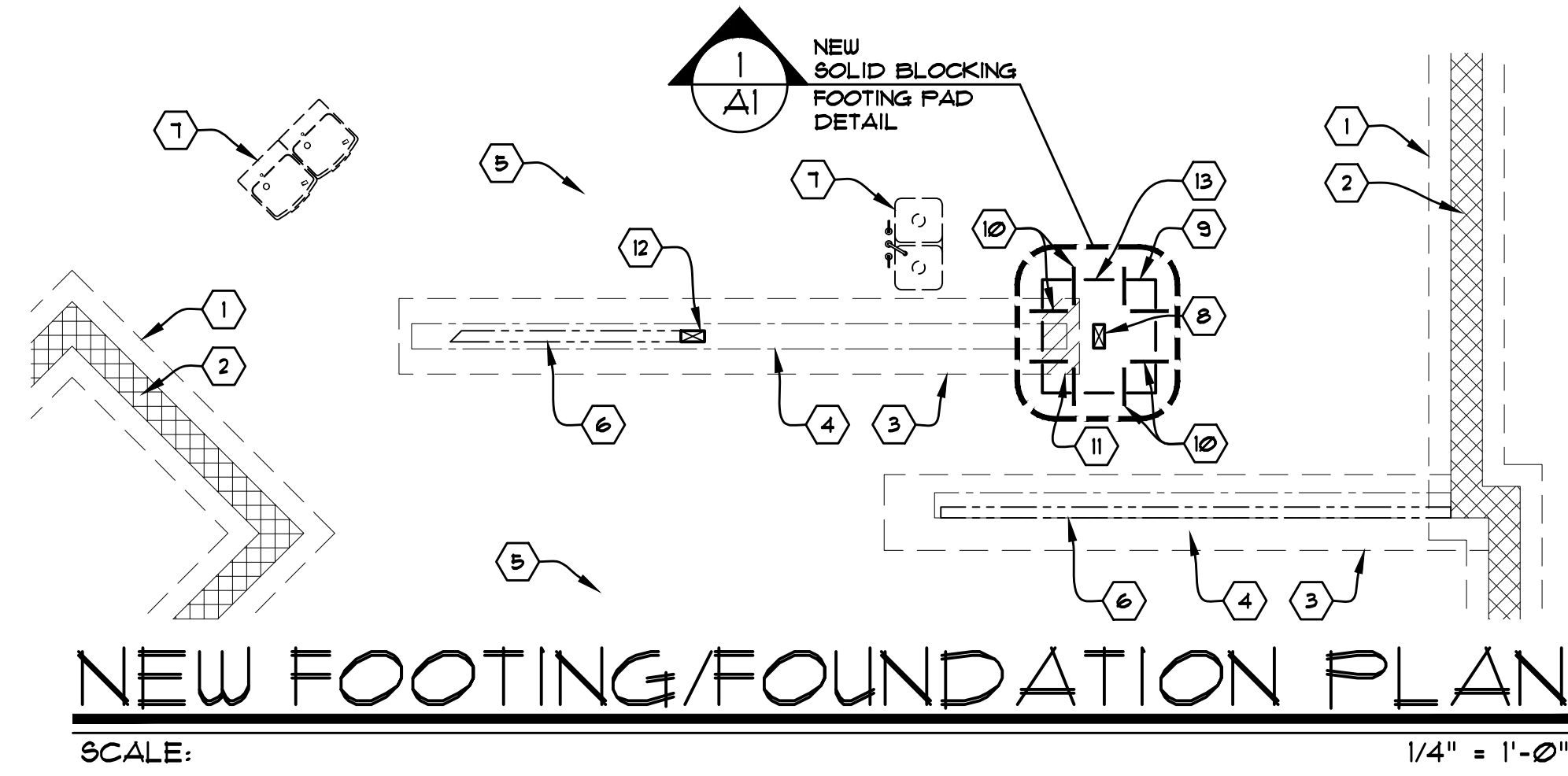
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CHECKED BY: MJD

EXISTING FIRST FLOOR DEMOLITION PLAN

A2

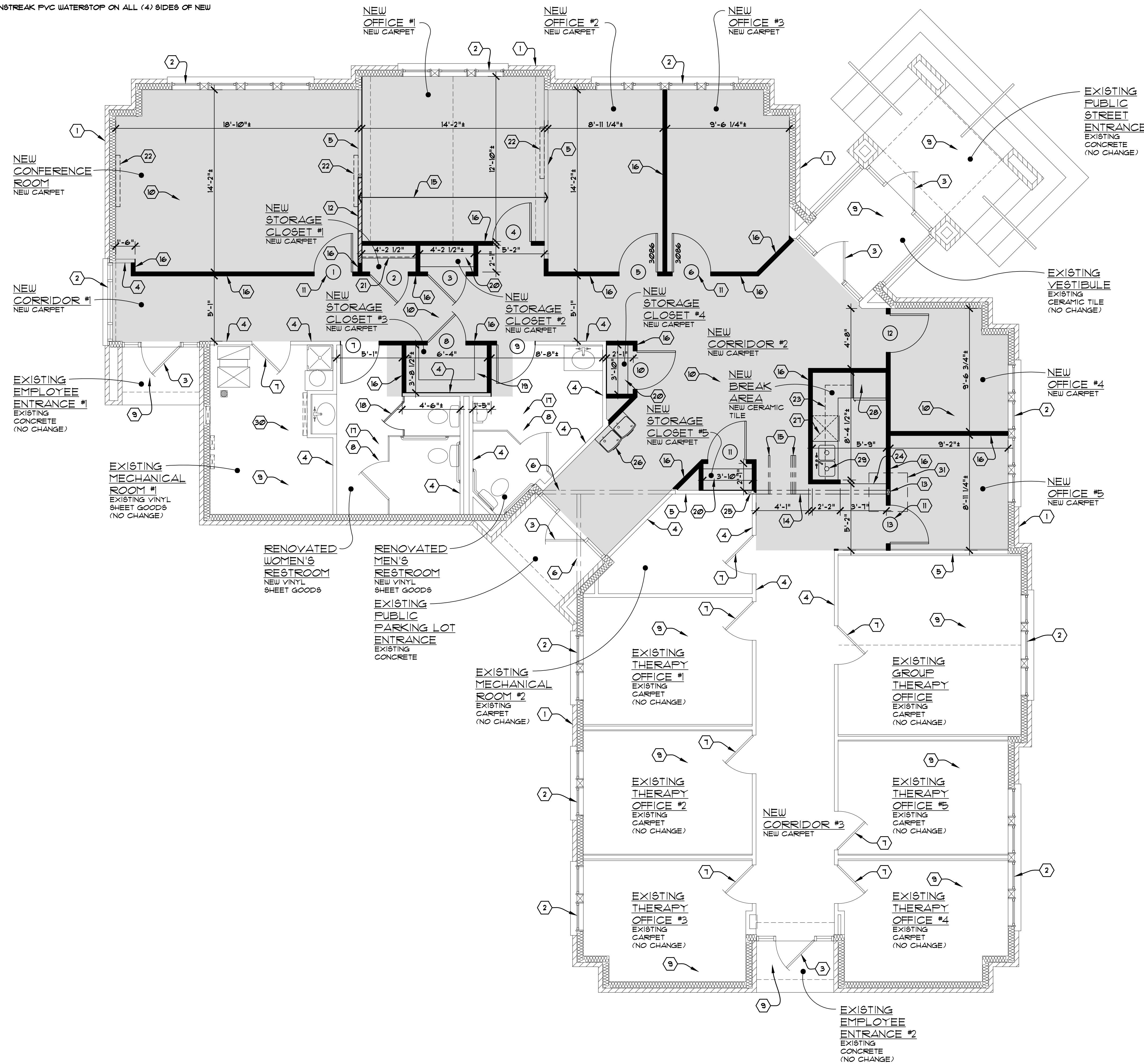
NEW FOOTING/FOUNDATION PLAN
NOTES

- 1 EXISTING CONCRETE FOOTING TO REMAIN (TYPICAL)
- 2 EXISTING LOADBEARING CONCRETE MASONRY BLOCK FOUNDATION TO REMAIN (TYPICAL)
- 3 EXISTING THICKENED CONCRETE SLAB BELOW EXISTING BEARING WALL TO REMAIN - 8" THICK CONCRETE
- 4 EXISTING LOADBEARING CONCRETE MASONRY BLOCK FOUNDATION BELOW THICKENED SLAB TO REMAIN
- 5 EXISTING CONCRETE SLAB ABOVE TO REMAIN (TYPICAL) - REPAIR/REPLACE AS NECESSARY
- 6 OUTLINE OF EXISTING 2x4 STUD BEARING WALL ASSEMBLY ABOVE TO REMAIN
- 7 OUTLINE OF NEW SINK/DRINKING FOUNTAIN ABOVE
- 8 OUTLINE OF NEW WOOD BLOCKING ABOVE RUN DOWN TO TOP OF EXISTING/NEW CONCRETE SLAB OR FOOTING PAD: (5) 2x4'S
- 9 OUTLINE OF NEW 36" x 36" x 12" DEEP CONCRETE FOOTING PAD W/ (4) #4'S EACH WAY - TOP OF NEW FOOTING PAD TOP ALIGN W/ TOP OF EXISTING CONCRETE SLAB - SEE DETAIL 1/A1 FOR MORE INFORMATION
- 10 NEW 12" LONG #4 DOUELS EMBEDDED MINIMUM 4" INTO EXISTING THICKENED CONCRETE SLAB OR REGULAR CONCRETE SLAB / EPOXY GROUT - SEE DETAIL 1/A1 FOR MORE INFORMATION
- 11 HATCHED AREA DENOTES TO REMOVE EXISTING THICKENED SLAB DOWN TO TOP OF EXISTING FOUNDATION WALL - NEW FOOTING PAD TO BE POURED AROUND EXISTING FOUNDATION WALL - SEE DETAIL 1/A1 FOR MORE INFORMATION
- 12 EXISTING SOLID BLOCKING ABOVE TO REMAIN: (5) 2x4'S
- 13 NEW SICA CONTINUOUS GREENSTREAK PVC WATERSTOP ON ALL (4) SIDES OF NEW FOOTING PAD



NEW FOOTING/FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



NEW FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NEW FIRST FLOOR PLAN
GENERAL NOTES

- A. EXISTING ROOF FRAMING ABOVE (NOT SHOWN) TO REMAIN
- B. EXISTING CONCRETE SLAB TO REMAIN - REPAIR/REPLACE AS NECESSARY
- C. SEE SHEET A4 FOR ADDITIONAL CEILING INFORMATION
- D. NEW 4" RUBBER BASE IN ALL NEW CARPET AREAS TO MATCH EXISTING SIZE, PROFILE AND COLOR

NEW FIRST FLOOR PLAN NOTES

- 1 EXISTING BRICK VENEER/WOOD STUD WALL ASSEMBLY TO REMAIN (TYPICAL)
- 2 EXISTING WINDOW ASSEMBLY TO REMAIN (TYPICAL)
- 3 EXISTING DOOR/TRANSOM/SIDELIGHT/METAL FRAME ASSEMBLY TO REMAIN
- 4 EXISTING GYPSUM BOARD WOOD STUD WALL ASSEMBLY TO REMAIN (TYPICAL)
- 5 EXISTING GYPSUM BOARD WOOD STUD BEARING WALL ASSEMBLY TO REMAIN
- 6 EXISTING ASSUMED WOOD BEAM ABOVE TO REMAIN
- 7 EXISTING DOOR TO REMAIN (TYPICAL)
- 8 ALL PLUMBING FIXTURES, TOILET PARTITIONS, GRAB BARS, VANITIES, ETC. TO REMAIN UNLESS NOTED OTHERWISE - REMOVE AND REINSTALL AS NECESSARY TO INSTALL NEW FLOORING
- 9 NO WORK IN THIS AREA UNLESS NOTED OTHERWISE
- 10 SHADED AREA DENOTES AREA OF NEW WORK (TYPICAL)
- 11 DENOTES NEW DOOR DESIGNATION (TYPICAL) - SEE DOOR AND FRAME SCHEDULE SHEET A1 FOR MORE INFORMATION
- 12 HATCHED AREA DENOTES NEW 2x4 STUD BEARING WALL ASSEMBLY RUN UP TO UNDERSIDE OF EXISTING DOUBLE 2x8 BEAM W/ 1/2" THICK PLYWOOD FLITCH PLATE - FRAME WALL FROM 2x4 STUDS @ 12" O.C. W/ (1) LAYER 1/2" THICK REGULAR-TYPE GYPSUM BOARD EACH SIDE
- 13 NEW SOLID BLOCKING: (5) 2x4'S
- 14 NEW 3-1/2" x 14" DEEP MICROLAM BEAM W/ DOUBLE 2x4 TOP PLATE - TOP OF BEAM ASSEMBLY TO ALIGN W/ BOTTOM OF EXISTING ROOF TRUSSES (10'-4 1/2" ABOVE EXISTING CONCRETE SLAB) - BOTTOM OF BEAM @ 8'-11 1/2" ABOVE EXISTING CONCRETE SLAB
- 15 EXISTING ROOF TRUSSES TO REMAIN AND TO BEAR DIRECTLY ON EXISTING BEAM ASSEMBLY - FIELD VERIFY LOCATIONS AS NECESSARY
- 16 SHADED AREA DENOTES NEW STUD WALL ASSEMBLY RUN UP TO UNDERSIDE OF EXISTING ROOF TRUSSES - FRAME WALL FROM 2x4 STUDS @ 16" O.C. W/ (1) LAYER 1/2" THICK REGULAR-TYPE GYPSUM BOARD EACH SIDE
- 17 NEW VINYL SHEET GOOD FLOORING W/ 4" RUBBER BASE
- 18 RELOCATED EXISTING TOILET PARTITION AND DOOR - DOOR HARDWARE TO BE RECONFIGURED AS NECESSARY
- 19 (5) NEW 12" DEEP SHELVES BY CLOSET SUPPLIER
- 20 (2) NEW 20" DEEP SHELVES BY CLOSET SUPPLIER
- 21 NEW CLOTHES RODS AND SHELVES BY CLOSET SUPPLIER
- 22 NEW WALL-MOUNTED TELEVISION LOCATION - TELEVISION TO HAVE 110-VOLT AND DATA/CABLE RECEPTACLES - TELEVISION AND MOUNTING BRACKET SUPPLIED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR - PROVIDE ALL NECESSARY BLOCKING IN EXISTING/NEW WALL ASSEMBLY
- 23 NEW BASE AND WALL CABINETS
- 24 LIMITS OF NEW CERAMIC TILE FLOORING
- 25 EXISTING SOLID BLOCKING TO REMAIN: (5) 2x4'S
- 26 NEW HI-LO HANDICAP ACCESSIBLE DRINKING FOUNTAIN
- 27 NEW UNDERCOUNTER DISHWASHER
- 28 NEW 30" WIDE CABINET-DEPTH REFRIGERATOR
- 29 NEW DOUBLE-BOWL SINK W/ DISPOSAL
- 30 EXISTING LIMITED-AREA SPRINKLER HEAD AND SUPPLY LINES ABOVE TO REMAIN THIS SHEET FOR MORE INFORMATION
- 31 OUTLINE OF NEW CONCRETE FOOTING PAD BELOW - SEE FOOTING/FOUNDATION PLAN THIS SHEET FOR MORE INFORMATION

RENOVATIONS TO THE EXISTING OFFICES OF:

MENTAL HEALTH
RECOVERY
BOARD

201 READING ROAD
MASON, OHIO 45040
WARREN COUNTY

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DRAWN BY: AMU
CHECKED BY: MJD

NEW
FOOTING/
FOUNDATION
AND FIRST
FLOOR
PLANS

A3

RENOVATIONS TO THE EXISTING OFFICES OF:

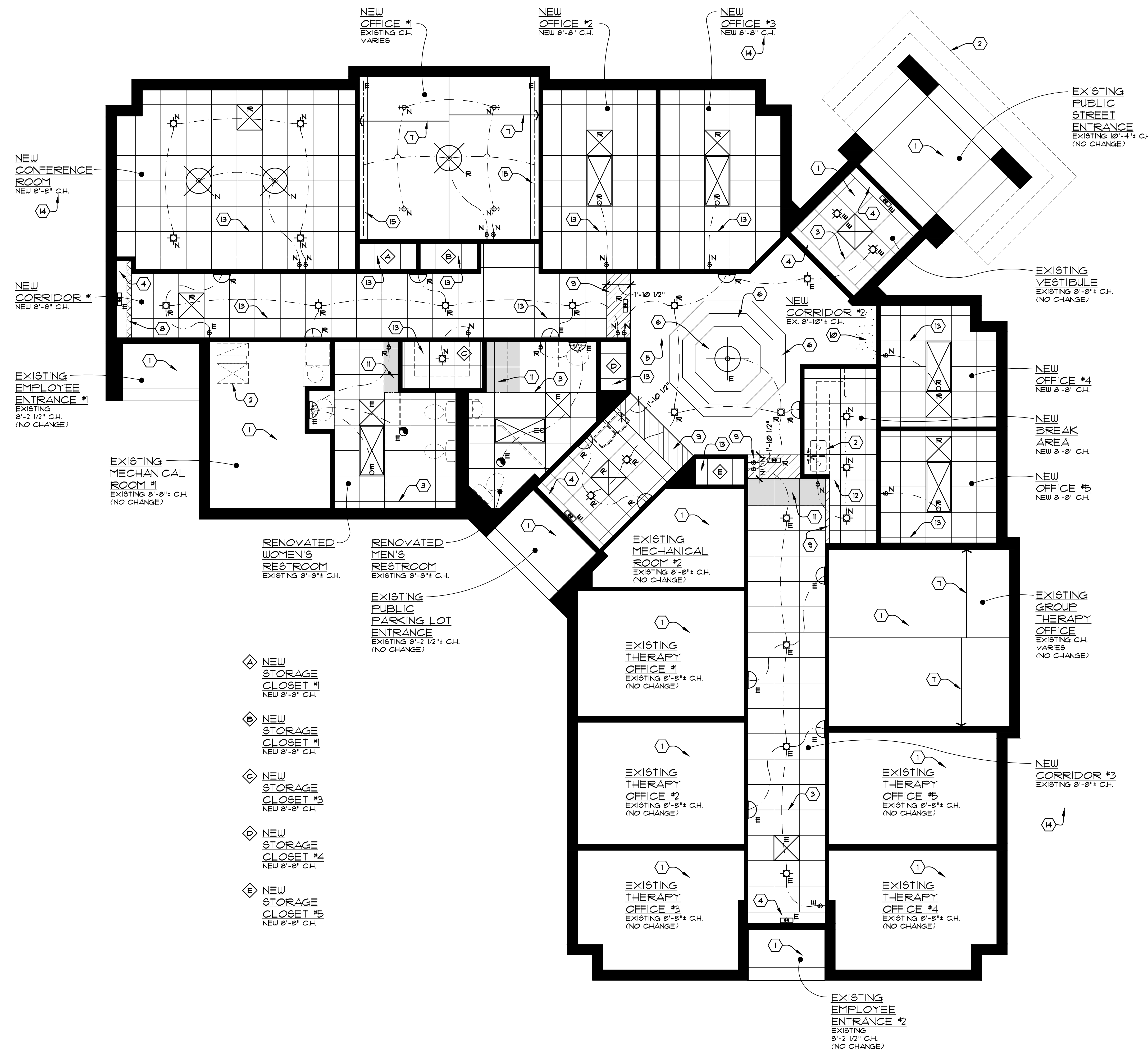
MENTAL HEALTH RECOVERY BOARD

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NEW FIRST FLOOR REFLECTED CEILING & LIGHTING PLAN NOTES

- 1 NO WORK IN THIS AREA UNLESS NOTED OTHERWISE
- 2 OUTLINE OF EXISTING NEW CABINETRY, PLUMBING FIXTURES, ETC. BELOW (TYPICAL)
- 3 EXISTING LAY-IN CEILING ASSEMBLY TO REMAIN (TYPICAL)
- 4 EXISTING GYPSUM BOARD BULKHEAD @ 8'-8" ROUGH OPENING HEIGHT (FIELD VERIFY AS NECESSARY) ABOVE EXISTING CONCRETE SLAB TO REMAIN
- 5 EXISTING GYPSUM BOARD CEILING @ 8'-10" ROUGH OPENING HEIGHT (FIELD VERIFY AS NECESSARY) ABOVE EXISTING CONCRETE SLAB TO REMAIN
- 6 EXISTING GYPSUM BOARD TRAY CEILING ASSEMBLY TO REMAIN
- 7 EXISTING 5/12 SLOPED GYPSUM BOARD CEILING TO REMAIN - REPAIR/REPLACE AS NECESSARY
- 8 CROSS-HATCHED AREA DENOTES NEW GYPSUM BOARD BULKHEAD - BOTTOM OF BULKHEAD TO ALIGN W/ EXISTING GYPSUM BOARD BULKHEAD - BOTTOM OF BULKHEAD ROUGH OPENING @ 8'-8" ABOVE EXISTING CONCRETE SLAB (FIELD VERIFY) - FRAME BULKHEAD W/ 2x4 CEILING JOISTS @ 24" O.C.
- 9 HATCHED AREA DENOTES NEW GYPSUM BOARD BULKHEAD - BOTTOM OF BULKHEAD ROUGH OPENING @ 8'-8" ABOVE EXISTING CONCRETE SLAB (FIELD VERIFY) - RUN GYPSUM BOARD UP SIDES OF BULKHEAD TO 6" ABOVE NEW LAY-IN CEILING LINE OR UP TO EXISTING GYPSUM BOARD CEILING - FRAME BULKHEAD W/ 2x4 CEILING JOISTS @ 24" O.C.
- 10 NEW GYPSUM BOARD CEILING TO ALIGN W/ EXISTING GYPSUM BOARD CEILING - BOTTOM OF CEILING ROUGH OPENING @ 8'-10" ABOVE EXISTING CONCRETE SLAB (FIELD VERIFY) - FRAME CEILING W/ 2x4 CEILING JOISTS @ 24" O.C.
- 11 SHADED AREA DENOTES NEW 2x2 ACOUSTIC LAY-IN CEILING ASSEMBLY TO ALIGN W/ EXISTING - MATCH EXISTING COLOR AND STYLE
- 12 NEW 2x2 ACOUSTIC LAY-IN CEILING TO MATCH EXISTING COLOR AND STYLE
- 13 NEW 2x2 ACOUSTIC LAY-IN CEILING
- 14 C.H. DENOTES EXISTING/NEW CEILING HEIGHT (TYPICAL)
- 15 EXISTING WALL-MOUNTED LIGHT TROUGH ASSEMBLY TO REMAIN AND BE MODIFIED

LIGHTING SYMBOLS & LEGEND

- EXISTING LIGHTING SWITCH TO REMAIN
- NEW RECESSED CAN FIXTURE
- EXISTING WALL-MOUNTED SCONCE FIXTURE TO REMAIN
- EXISTING EXHAUST FAN TO REMAIN - VENTED TO EXTERIOR
- EXISTING RECESSED LOW VOLTAGE ROPE FIXTURE TO REMAIN
- EXISTING DECORATIVE CEILING-MOUNTED FIXTURE TO REMAIN
- EXISTING CEILING-MOUNTED 2x4 FLUORESCENT FIXTURE TO REMAIN
- EXISTING SUPPLY DIFFUSER TO REMAIN
- EXISTING EMERGENCY EXIT SIGN W/ 1-1/2 HOUR BATTERY BACKUP TO REMAIN
- RELOCATED EXISTING LIGHTING SWITCH
- RELOCATED EXISTING RECESSED CAN FIXTURE
- RELOCATED EXISTING WALL-MOUNTED SCONCE FIXTURE
- RELOCATED EXISTING DECORATIVE CEILING-MOUNTED FIXTURE
- RELOCATED EXISTING CEILING-MOUNTED 2x4 FLUORESCENT FIXTURE
- RELOCATED EXISTING SUPPLY DIFFUSER
- RELOCATED EXISTING EMERGENCY EXIT SIGN W/ 1-1/2 HOUR BATTERY BACKUP
- NEW LIGHTING SWITCH - MATCH EXISTING SWITCH TYPE, SIZE AND COLOR
- NEW RECESSED CAN FIXTURE
- NEW RECESSED DIRECTIONAL MINI-CAN FIXTURE
- NEW DECORATIVE CEILING-MOUNTED FIXTURE

NEW FIRST FLOOR REFLECTED CEILING & LIGHTING PLAN

SCALE: 1/4" = 1'-0" 1/4" = 1'-0"

DATE: AUGUST 4, 2022

REVISIONS:

NO.	DESCRIPTION

SCALE: 1/4" = 1'-0"

DRAWN BY: AMU
CHECKED BY: MJD

NEW FIRST FLOOR REFLECTED CEILING & LIGHTING PLAN

A4

General Notes and Specifications

Governing Building Code

2011 OHIO BUILDING CODE

General Notes

- ALL PHASES OF THE CONSTRUCTION OF THE PROPOSED BUILDING SHALL BE DONE IN STRICT ACCORDANCE WITH ALL ALLOTMENT RESTRICTIONS AND GOVERNING CODE REQUIREMENTS INCLUDING LOCAL BUILDING CODES, LOCAL ZONING CODES, DEED RESTRICTIONS, SITE EASEMENTS, ETC., UNLESS SPECIFICALLY NOTED OTHERWISE. MORE RESTRICTIVE CODES AND ALLOTMENT RESTRICTIONS SHALL SUPERSEDE ANY CONFLICTING INFORMATION THAT MAY BE FOUND ON THESE DRAWINGS. NOTE: A TITLE SEARCH TO DETERMINE POSSIBLE PROPERTY EASEMENTS HAS NOT BEEN OBTAINED BY THIS OFFICE. SUCH RESEARCH SHALL BE THE RESPONSIBILITY OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL ITEMS DESCRIBED OR REFERRED TO ON THESE CONSTRUCTION DOCUMENTS. FAILURE TO MENTION PETTY DETAILS SHALL NOT WARRANT THE OMISSION OF SUCH ITEMS AS REQUIRED FOR THE PROPER COMPLETION OF THE WORK AND GOVERNING CODE REQUIREMENTS.
- PROVIDE 1/2" SOLID PLYWOOD (FLITCH) PLATE AT ALL 2x WOOD BEAM MEMBERS.
- MAINTAIN ALL EGRESS DOORS READILY OPERABLE FROM THE SIDE IN WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL EFFORT.
- ELECTRICAL AND HVAC FIXTURE LOCATIONS, SPECIFICATIONS, SIZES, AND QUANTITIES ARE NOT COMPONENTS OF THESE DRAWINGS. SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR ALL INFORMATION RELATED TO SUCH ELEMENTS.
- PROVIDE ACTUAL WALL AND FLOOR FINISH SCHEDULE TO GOVERNING BUILDING DEPARTMENT FOR APPROVAL.
- PROVIDE ACTUAL DOOR AND HARDWARE SCHEDULE TO GOVERNING BUILDING DEPARTMENT FOR APPROVAL.
- THERE IS NO CHANGE IN USE GROUP OF THIS BUILDING.
- THIS PROJECT DETAILS ONLY ALTERATIONS TO AN EXISTING STRUCTURE.
- THIS PROJECT SHALL COMPLY WITH ICC IBC 2011 PER CHAPTER II OF THE 2011 OHIO BUILDING CODE WITH OBC SECTION 112 AMENDMENTS.

Required Design Floor Loads

ALL OF FIRST FLOOR:
LIVE LOAD: 100 PSF
DEAD LOAD: 10 PSF

Concrete

- PLACING AND CONCRETE CONSTRUCTION SHALL CONFORM TO AC308. CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI FOR WALLS AND FOOTINGS, AND 4,000 PSI, 9% TO 1% AIR-ENTRAINED FOR EXTERIOR WALLS AND WALLS.
- MAXIMUM 5" SLUMP. DEPOSIT CONCRETE AS CLOSE AS POSSIBLE TO ITS PLACE OF USE TO AVOID MIXING, DRAGGING, AND SEGREGATING. AFTER CONCRETE IS IN PLACE FOOTINGS AND WALLS SHALL BE CONSOLIDATED BY INTERNAL VIBRATION. SLABS ON GRADE MAY BE CONSOLIDATED BY PROPER SCREENING.
- EXPANSION AND CONTROL JOINTS: PLACE CONTROL JOINTS IN SLABS AT COLUMN LINES AND AS NOTED ON DRAWINGS. PROVIDE EXPANSION JOINTS AROUND PERIMETER OF SLAB, AT INTERSECTIONS BETWEEN SLABS AND WALLS, AROUND COLUMNS, AND AS NOTED ON DRAWINGS. CONTROL JOINT DEPTH TO BE 1/4 THE DEPTH OF THE CONCRETE SLAB. PROVIDE CONTROL JOINTS BY USING HAND FORMING OR SAWING METHOD. MAXIMUM 400 SQUARE FEET BETWEEN CONTROL JOINTS.
- CURING CONCRETE SLABS: MOIST CURE FOR 7 DAYS, LIQUID WATERPROOFING MEMBRANE CURING, AS PER MANUFACTURER'S RECOMMENDED RATE.
- SEE STRUCTURAL, MECHANICAL AND ELECTRICAL ENGINEER'S DRAWINGS FOR ALL OPENINGS AND INSERTS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS. ALL MECHANICAL AND ELECTRICAL ITEMS SHALL BE PLACED PRIOR TO POURING CONCRETE.
- AT CORNERS AND INTERSECTIONS OF FOOTINGS, WALLS, AND GRADE BEAMS PROVIDE BENT BARS OF EQUAL SIZE AND SAME SPACING AS REINFORCEMENT TYPICAL AROUND CORNERS AND/OR INTO ABUTTING WALL OR GRADE BEAM. BARS SHALL HAVE A MINIMUM EMBEDDED LENGTH OF THE BAR DIAMETER x 18 ON 12" (MINIMUM) CENTERS.
- ALL CONCRETE SIDEWALK AND PATIO AREAS SHALL BE 4" THICK W/ 4'S AT 24" O.C. EACH WAY REINFORCING OVER MINIMUM 4" COMPACTED GRANULAR FILL OVER UNBURRED VIRGIN SUBGRADE (REMOVE ALL TOPSOIL AND VEGETATION). PROVIDE 1/2" FLEXCELL EXPANSION MATERIAL ALONG ALL SLAB EDGES THAT BUTT TO THE BUILDING FOUNDATION. PROVIDE BROOM TEXTURED FINISH AND PROVIDE SAIL CUT CONTROL JOINTS @ 9'-0" O.C. MAXIMUM SPACING EACH WAY. PROVIDE REBAR REINFORCING AND/OR MASONRY TIERS AS REQUIRED TO SUPPORT SLABS ALONG FOUNDATION WALL EXCAVATIONS, ETC.

Reinforcement

- ALL REINFORCING SHALL MEET ASTM SPECIFICATIONS A615, GRADE 60.
- PROVIDE ADEQUATE SUPPORT BARS AND ACCESSORIES TO HOLD ALL REINFORCING IN PLACE PRIOR TO CONCRETE PLACEMENT.
- CONCRETE COVER FOR REBAR: FOOTINGS 3" MINIMUM, WALLS 2" MINIMUM, AND SLABS ON GRADE MID-DEPTH.
- PROVIDE BENT BARS OF EQUAL SIZE AND SAME SPACING AS REINFORCEMENT AT CORNERS AND INTERSECTIONS OF FOOTINGS, WALLS, AND GRADE BEAMS TYPICAL AROUND CORNERS AND/OR INTO ABUTTING WALL OR GRADE BEAM. BARS SHALL HAVE A MINIMUM EMBEDDED LENGTH OF THE BAR DIAMETER x 18 ON 12" (MINIMUM) CENTERS.

Foundation

- FOOTINGS ARE DESIGNED FOR A MAXIMUM SOIL BEARING PRESSURE OF 1500 PSF. ALL FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL.
- BRACE ALL WALLS AS REQUIRED PRIOR TO AND DURING THE PLACING OF BACKFILL UNTIL THE SUPPORTS FOR THE WALLS ARE IN PLACE.
- PROTECT ALL FOUNDATIONS FROM THE ACTION OF WATER AND FREEZING.
- SEE MECHANICAL AND ELECTRICAL CONTRACTORS FOR ALL OPENINGS AND INSERTS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS. ALL MECHANICAL AND ELECTRICAL ITEMS SHALL BE PLACED PRIOR TO POURING CONCRETE.
- MINIMUM DEPTH OF CONCRETE FOOTINGS SHALL BE 2'-8" FROM PROPOSED FINISHED GRADE TO BOTTOM OF FOOTING. EXACT FOOTING ELEVATIONS SHALL BE FIELD DETERMINED AS PER EXISTING GRADES.
- ALL BEAMS (INCLUDING WOOD, MICRO LAM, AND STEEL) SHALL BEAR MINIMUM 4" ONTO CONCRETE FOUNDATION WALL, UNLESS SPECIFICALLY NOTED OTHERWISE.

Dimension Notes

EXTERIOR DIMENSIONS TO FACE OF FOUNDATION.
INTERIOR DIMENSIONS TO FACE OF STUDS.
INTERIOR PARTITIONS @ 3 1/2" UNLESS OTHERWISE NOTED.

Headers @ 2x4 Stud Partitions (Unless Noted Otherwise)

SPANS TO 9'-0", (2) 2x12'S WITH (1) 1/2" x 11" SOLID PLYWOOD FLATES
9'-0" AND LARGER: SEE DRAWINGS

Headers @ 2x6 Stud Partitions (Unless Noted Otherwise)

SPANS TO 9'-0", (3) 2x12'S WITH (2) 1/2" x 11" SOLID PLYWOOD FLATES
9'-0" AND LARGER: SEE DRAWINGS

Lumber/Plywood

IDENTIFY BY GRADE STAMP

JOISTS/RAFTERS:	YELLOW PINE, GRADE 1" OR BETTER, KILN DRIED, 'FB' AND 'E' VALUES TO EQUAL OR EXCEED:			
	2x8 OR LESS: 2x10: 2x12:	FB = 1200 PSI FB = 1200 PSI FB = 975 PSI	E = 1,600,000 E = 1,600,000 E = 1,600,000	
STUDDING/PLATES:	SPRUCE, PINE OR FIR, GRADE 1", KILN DRIED.			
	P.T. LUMBER: ALPA, WATERBORNE (ACO) TREATED YELLOW PINE, GRADE 2" FOR ABOVE-GROUND USE.			
PLYWOOD:	BASED ON AIA PANEL SPECIFICATIONS:			
	SPECIES, PANEL GRADE, SEAM BATTING, THICKNESS, EXPOSURE CLASSIFICATION, AND MILL LUMBER.			

Protection Against Decay

- PROTECTION AGAINST DECAY AND TERMITES: WOOD SHALL BE PROTECTED FROM DECAY AND TERMITES IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTIONS 121 THROUGH 141.
- LOCATIONS REQUIRING WATER-BORNE PRESERVATIVES OR NATURALLY DURABLE WOOD: WOOD USED ABOVE GROUND IN THE LOCATIONS SPECIFIED IN SECTIONS 121 THROUGH 141 SHALL BE NATURALLY DURABLE WOOD OR PRESERVATIVE-TREATED WOOD USING WATER-BORNE PRESERVATIVE, IN ACCORDANCE WITH ALPA UL FOR ABOVE-GROUND USE.
 - JOISTS, GIRDERS AND SUPERLOOR WOOD JOISTS OR WOOD STRUCTURAL FLOORS THAT ARE CLOSER THAN 18 INCHES (457 MM) TO WOOD GIRDERS THAT ARE CLOSER THAN 12 INCHES (305 MM) TO THE EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREAS LOCATED WITHIN THE PERIMETER OF THE BUILDING FOUNDATION SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.
 - WOOD SUPPORTED BY EXTERIOR FOUNDATION WALLS, WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT ARE IN CONTACT WITH EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES (203 MM) FROM EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.
 - EXTERIOR WALLS BELOW GRADE, WOOD FRAMING MEMBERS AND FURRING STRIPS IN DIRECT CONTACT WITH THE INTERIOR OF EXTERIOR MASONRY OR CONCRETE WALLS BELOW GRADE SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.
 - SLEEPERS AND BILLS, SLEEPERS AND BILLS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.
 - WOOD SIDING: CLEARANCE BETWEEN WOOD SIDING AND EARTH ON THE EXTERIOR OF A BUILDING SHALL NOT BE LESS THAN 6 INCHES (152 MM) OR LESS THAN 2 INCHES (51 MM) VERTICALLY FROM CONCRETE, STONE, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER EXCEPT WHERE SIDING, SHEATHING AND WALL FRAMING ARE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.
- OTHER LOCATIONS, WOOD USED IN THE LOCATIONS SPECIFIED IN SECTIONS 121 THROUGH 141 SHALL BE NATURALLY DURABLE WOOD OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH ALPA UL. PRESERVATIVE-TREATED WOOD USED IN INTERIOR LOCATIONS SHALL BE PROTECTED WITH TWO COATS OF URETHANE, SHELLAC, LATEX EPOXY OR VARNISH UNLESS WATER-BORNE PRESERVATIVES ARE USED. PRIOR TO APPLICATION OF THE FINISH, THE WOOD SHALL BE DRIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - GIRDER ENDS: THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS SHALL BE PROVIDED WITH A 1'-INCH (254 MM) AIRSPACE ON TOP, SIDES AND END, UNLESS NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD IS USED.
 - POSTS OR COLUMNS: POSTS OR COLUMNS SUPPORTING PERMANENT STRUCTURES AND SUPPORTED BY A CONCRETE OR MASONRY SLAB OR FOOTING THAT IS IN DIRECT CONTACT WITH THE EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.

EXCEPTION: POSTS OR COLUMNS THAT ARE NOT EXPOSED TO THE WEATHER, ARE SUPPORTED BY CONCRETE PIERS OR METAL PIEDESTALS PROJECTED AT LEAST 1 INCH (25 MM) ABOVE THE SLAB OR DECK AND 8 INCHES (203 MM) ABOVE EXPOSED EARTH AND ARE SEPARATED BY AN IMPERVIOUS MOISTURE BARRIER.
 - SUPPORTING MEMBER FOR PERMANENT APPURTENANCES: NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD SHALL BE UTILIZED FOR THOSE PORTIONS OF WOOD MEMBERS THAT FORM THE STRUCTURAL SUPPORTS OF BUILDINGS, BALCONIES, PORCHES OR SIMILAR PERMANENT BUILDING APPURTENANCES WHERE SUCH MEMBERS ARE EXPOSED TO THE WEATHER WITHOUT ADEQUATE PROTECTION FROM A ROOF, EAVE, OVERHANG OR OTHER COVERING TO PREVENT MOISTURE OR WATER ACCUMULATION ON THE SURFACE OR AT JOINTS BETWEEN MEMBERS.

EXCEPTION: WHEN A BUILDING IS LOCATED IN A GEOGRAPHICAL REGION WHERE EXPERIENCE HAS DEMONSTRATED THAT CLIMATIC CONDITIONS PRECLUDE THE NEED TO USE DURABLE MATERIALS WHERE THE STRUCTURE IS EXPOSED TO THE WEATHER.
 - LAMINATED TIMBERS: THE PORTIONS OF GLUED-LAMINATED TIMBERS THAT FORM THE STRUCTURAL SUPPORTS OF A BUILDING OR OTHER STRUCTURE AND ARE EXPOSED TO WEATHER AND NOT FULLY PROTECTED FROM MOISTURE BY A ROOF, EAVE OR SIMILAR COVERING SHALL BE PRESERVE TREATED WITH PRESERVATIVE OR BE MANUFACTURED FROM NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.
 - SUPPORTING MEMBERS FOR PERMISSIBLE FLOORS AND ROOFS: WOOD STRUCTURAL MEMBERS THAT SUPPORT MOISTURE-PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO THE WEATHER, SUCH AS CONCRETE OR MASONRY SLABS, SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN IMPERVIOUS MOISTURE BARRIER.
 - WOOD IN CONTACT WITH THE GROUND OR FRESH WATER: WOOD USED IN CONTACT WITH EXPOSED EARTH SHALL BE NATURALLY DURABLE FOR BOTH DECAY AND TERMITE RESISTANCE OR PRESERVATIVE TREATED IN ACCORDANCE WITH ALPA UL FOR SOIL OR FRESH WATER USE.

EXCEPTION: UNTREATED WOOD IS PERMITTED WHERE SUCH WOOD IS CONTINUOUSLY AND ENTIRELY BELOW THE GROUNDWATER LEVEL OR SUBMERGED IN FRESH WATER.

- TERMITE PROTECTION IN GEOGRAPHICAL AREAS WHERE HAZARD OF TERMITE DAMAGE IS TO BE VERY HEAVY, WOOD FLOOR FRAMING IN THE LOCATIONS SPECIFIED IN SECTION 121 ABOVE AND EXPOSED FRAMING OF EXTERIOR DECKS OR BALCONIES SHALL BE OF NATURALLY DURABLE SPECIES (TERMITE RESISTANT) OR PRESERVATIVE-TREATED IN ACCORDANCE WITH ALPA UL FOR THE SPECIES, PRODUCT PRESERVATIVE AND END USE OR PROVIDED WITH APPROVED METHODS OF TERMITE PROTECTION.
- WOOD USED IN RETAINING WALLS AND CRIBS: WOOD INSTALLED IN RETAINING OR CRIB WALLS SHALL BE PRESERVATIVE-TREATED IN ACCORDANCE WITH ALPA UL FOR SOIL AND FRESH WATER USE.
- ATTIC VENTILATION FOR ATTIC VENTILATION, SEE SECTION 1203.2.
- UNDER-FLOOR VENTILATION (CRAWL SPACE) FOR UNDER-FLOOR VENTILATION (CRAWL SPACE), SEE SECTION 1203.4.

Framing/Insulation

- THIS OFFICE HAS ASSUMED THAT THE CONTRACTOR DOING THIS WORK HAS COMPLETE KNOWLEDGE OF RESIDENTIAL FRAMING AND ALL RELATED BUILDING CODES, EXACT FRAMING DETAILS HAVE NOT BEEN SHOWN. THESE DRAWINGS INDICATE A FRAMING CONCEPT ONLY AND DO NOT NECESSARILY SHOW EVERY BEAM, HEADER, LINTEL, ETC.
- FLOIDE SOLID BLOCKING WITHIN FLOOR JOIST SPACE, ETC., BELOW ALL VERTICAL LOAD BEARING POINTS. ALSO PROVIDE SOLID ACG TREATED PLYWOOD BLOCKING IN LIEU OF TREATED BOTTOM FLUTE AT TOP OF FOUNDATION WALL, AT SUCH BEARING POINTS.
- TYPICAL INTERIOR PARTITION WALLS SHALL BE 2x4 WOOD STUDS @ 16" O.C. PROVIDE THERMAFIBER SOUND ATTENUATION BLANKET (NOMINAL 25% CT DENSITY) AT ALL INTERIOR WALLS OF BATHS AND LAVS AND AROUND ALL MAIN SANITARY LINES EXPOSED WITHIN MAIN FLOOR AND UPPER FLOOR SPACES. ALL STUD WALLS BEARING DIRECTLY OVER CONCRETE SLAB OR CONCRETE BLOCK SHALL BE INSTALLED OVER 1/4" STYROFOAM GILL SEALER AND THE BOTTOM PLATE SHALL BE ACG TREATED.
- AT CEILING OF SPACES PROVIDE MINIMUM R-49 BLOW-IN INSULATION.
- AT 2x6 PERIMETER STUD WALLS PROVIDE MINIMUM 5-1/2" (R-19) KRAFT-FACED BATT INSULATION BETWEEN STUDS. AT 2x4 PERIMETER STUD WALLS PROVIDE MINIMUM 3-1/2" (R-13) KRAFT-FACED BATT INSULATION BETWEEN STUDS.
- ALL GILL PLATES IN CONTACT WITH CONCRETE SHALL BE PRESERVE TREATED 2x.

Fireblocking

- FIREBLOCKING IN COMBUSTIBLE CONSTRUCTION: FIREBLOCKING SHALL BE INSTALLED TO CUT OFF OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE. FIREBLOCKING SHALL BE INSTALLED IN THE LOCATIONS SPECIFIED IN SECTIONS 1 THROUGH 1 BELOW.
 - FIREBLOCKING MATERIALS: FIREBLOCKING SHALL CONSIST OF 2-INCH (51 MM) NOMINAL LUMBER OR TWO THICKNESSES OF 1-INCH (25 MM) NOMINAL LUMBER WITH BROKEN LAP JOINTS OR ONE THICKNESS OF 2-1/8-INCH (183 MM) WOOD STRUCTURAL PANEL WITH JOINTS BACKED BY 2-1/8-INCH (183 MM) WOOD STRUCTURAL PANEL OR ONE THICKNESS OF 2-1/8-INCH (19 MM) PARTICLEBOARD WITH JOINTS BACKED BY 2-1/8-INCH (19 MM) PARTICLEBOARD, GYPSUM BOARD, CEMENT FIBER BOARD, BATTLS OR BLANKETS OF MINERAL WOOL, GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE SHALL BE PERMITTED AS AN ACCEPTABLE FIREBLOCK. BATTLS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED NONRIGID MATERIALS SHALL BE PERMITTED FOR COMPLIANCE WITH THE 10-FOOT (3048 MM) HORIZONTAL FIREBLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROUS OF STUDS OR STAGGERED STUDS. LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED AS FIREBLOCK UNLESS SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED FOR USE TO DEMONSTRATE ITS ABILITY TO REMAIN IN PLACE AND TO RETARD THE SPREAD OF FIRE AND HOT GASES. THE INTEGRITY OF FIREBLOCKS SHALL BE MAINTAINED.
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).
 - CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES: FIREBLOCKING SHALL BE PROVIDED AT INTERSECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS OR FURRING AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS.
 - STAIRWAYS: FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL ALSO COMPLY WITH SECTION 1203.3.
 - CEILING AND FLOOR OPENINGS: WHERE ANNUAL SPACE PROTECTION IS PROVIDED IN ACCORDANCE WITH EXCEPTION 6 OF SECTION 1201.2, EXCEPTION 1 OF SECTION 1214.12, OR SECTION 1214.2, FIREBLOCKING SHALL BE INSTALLED AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND OTHER PENETRATIONS BETWEEN CEILING AND FLOOR LEVELS, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION. FACTORY-BUILT CHIMNEYS AND FIREPLACES SHALL BE FIREBLOCKED IN ACCORDANCE WITH UL 103 AND UL 121.
 - ARCHITECTURAL TRIM: FIREBLOCKING SHALL BE INSTALLED WITHIN CONCEALED SPACES OF EXTERIOR WALL FINISH AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS WHERE SUCH MEMBERS ARE PERMITTED TO BE CONSTRUCTION AS SPECIFIED IN SECTION 1406 OR WHERE ERRECTED WITH COMBUSTIBLE FRAMES. AT MAXIMUM INTERVALS OF 20 FEET (6096 MM), SO THAT THERE WILL BE NO OPEN SPACE EXCEEDING 1000 SQUARE FEET (93 SQUARE METERS), WHERE WOOD FURRING STRIPS ARE USED, THEY SHALL BE OF APPROVED WOOD OF NATURAL DECAY RESISTANCE OR PRESERVATIVE-TREATED WOOD. IF NONCONTINUOUS, SUCH ELEMENTS SHALL HAVE CLOSED ENDS, WITH AT LEAST 4 INCHES (102 MM) OF SEPARATION BETWEEN SECTIONS.

EXCEPTIONS:

 - FIREBLOCKING SHALL NOT BE REQUIRED WHERE INSTALLED ON NONCOMBUSTIBLE FRAMING AND THE FACE OF THE EXTERIOR WALL FINISH EXPOSED TO THE CONCEALED SPACE IS COVERED BY ONE OF THE FOLLOWING MATERIALS:
 - ALUMINUM HAVING A MINIMUM THICKNESS OF 0.019 INCH (0.5 MM).
 - CORROSION-RESISTANT STEEL HAVING ABASE METAL THICKNESS NOT LESS THAN 0.016 INCH (0.4 MM) AT ANY POINT.
 - OTHER APPROVED NONCOMBUSTIBLE MATERIALS.
- CONCEALED SLEEPER SPACES, WHERE WOOD SLEEPERS ARE USED FOR LAYING WOOD FLOORING ON MASONRY OR CONCRETE: FIRE-RESISTANCE-RATED FLOORS: THE SPACE BETWEEN THE FLOOR SLAB AND THE UNDERSIDE OF THE WOOD FLOORING SHALL BE FILLED WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION OR FIREBLOCKED IN SUCH A MANNER THAT THERE WILL BE NO OPEN SPACES UNDER THE FLOORING THAT WILL EXCEED 1000 SQUARE FEET (93 SQUARE METERS) IN AREA AND SUCH SPACE SHALL BE FILLED SOLIDLY UNDER PERMANENT PARTITIONS SO THAT THERE IS NO COMMUNICATION UNDER THE FLOORING BETWEEN ADJOINING ROOMS.

Draftstopping

- DRAFTSTOPPING IN FLOORS: IN COMBUSTIBLE CONSTRUCTION, DRAFTSTOPPING SHALL BE INSTALLED TO SUBDIVIDE FLOOR/CEILING ASSEMBLIES IN THE LOCATIONS PRESCRIBED BELOW.
 - DRAFTSTOPPING MATERIALS: DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 2.5-INCH (254 MM) GYPSUM BOARD, 2-3/8-INCH (59 MM) WOOD STRUCTURAL PANEL, 2-3/8-INCH (59 MM) PARTICLEBOARD, 1-INCH (25.4-MM) NOMINAL LUMBER, CEMENT FIBERBOARD, BATTLS OR BLANKETS OF MINERAL WOOL, GLASS FIBER OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. THE INTEGRITY OF DRAFTSTOPPS SHALL BE MAINTAINED.
 - OTHER GROUPS: OTHER THAN RESIDENTIAL, DRAFTSTOPPING SHALL BE INSTALLED SO THAT HORIZONTAL FLOOR AREAS DO NOT EXCEED 1,000 SQUARE FEET (93 SQUARE METERS).
- DRAFTSTOPPING IN ATTICS: IN COMBUSTIBLE CONSTRUCTION, DRAFTSTOPPING SHALL BE INSTALLED TO SUBDIVIDE ATTIC SPACES AND CONCEALED ROOF SPACES IN THE LOCATIONS PRESCRIBED BELOW. VENTILATION OF CONCEALED ROOF SPACES SHALL BE MAINTAINED IN ACCORDANCE WITH SECTION 1203.2.
 - DRAFTSTOPPING MATERIALS: MATERIALS UTILIZED FOR DRAFTSTOPPING OF ATTIC SPACES SHALL COMPLY WITH SECTION A ABOVE.
 - OPENINGS, OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.
 - OTHER GROUPS: OTHER THAN RESIDENTIAL, DRAFTSTOPPING SHALL BE INSTALLED IN ATTICS AND CONCEALED ROOF SPACES SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 SQUARE FEET (279 SQUARE METERS).

Inspections

THE INTEGRITY OF ALL FIRESTOPPS AND DRAFTSTOPPING SHALL BE MAINTAINED AND SHALL NOT BE CONCEALED FROM VIEW UNTIL INSPECTED AND APPROVED BY THE BUILDING INSPECTOR.

Exhaust System

ALL EXHAUST SYSTEMS SERVING KITCHENS, LAUNDRY, BATH, AND POWDER ROOMS SHALL EXHAUST THROUGH NON-COMBUSTIBLE DUCTS TO THE OUTSIDE.

Heating, Ventilation, Air Conditioning, Electric & Plumbing

- THE ARCHITECTURAL DRAWINGS FOR HVAC FLOOR SHALL BE CONSIDERED DIAGRAMMATIC, SHOWING THE LOCATIONS OF EQUIPMENT, EXACT LOCATIONS, DISTANCES, LEVELS AND OTHER CONDITIONS WILL BE GOVERNED BY THE BUILDING CODES.
- THE HVAC CONTRACTOR SHALL SUBMIT DIAGRAMMATIC DRAWINGS AND PERFORMANCE SPECIFICATIONS ON ALL HVAC EQUIPMENT, DUCT LAYOUT AND DUCT SIZES TO OWNER CORRECTNESS OF THE SYSTEM AND FOR THE ARCHITECTS AND GUNO'S REVIEW BEFORE ANY CONSTRUCTION BEGINS.

RENOVATIONS TO THE EXISTING OFFICES OF:

MENTAL HEALTH RECOVERY BOARD

201 READING ROAD
MID. AT INTERSECTION
WARREN COUNTY

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SHEET INDEX

SEE SHEET A1 FOR SHEET INDEX INFORMATION

DATE: AUGUST 4, 2022

REVISIONS:

SCALE: NONE

DRAWN BY: AMU
CHECKED BY: MJD

GENERAL NOTES & SPECIFICATIONS

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